



Development Services Department
Environmental Coordinator
450 110th Avenue NE
Bellevue, WA 98009-9012

DETERMINATION OF NON-SIGNIFICANCE

PROPOSAL NAME:	McGowan Retain Wall
LOCATION:	1406 W Lake Sammamish Pkwy NE
FILE NUMBERS:	21-102789-LO
PROPONENT:	Ken and Kris McGowan
DESCRIPTION OF PROPOSAL: Restoration and reconstruction of an existing retaining wall located within a steep slope critical area. Restoration work is associated with unpermitted grading work and will include reconstruction of the block wall, restoration of natural slope contours, and native steep slope plantings.	

The Environmental Coordinator of the City of Bellevue has determined that this proposal does not have a probable significant adverse impact upon the environment. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(C). This decision was made after the Bellevue Environmental Coordinator reviewed the completed environmental checklist and information filed with the Land Use Division of the Development Services Department. This information is available to the public on request.

This DNS is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on the DNS. There is a 14-day appeal period. Only persons who submitted written comments before the DNS was issued may appeal the decision.

DATE ISSUED: 9/2/2021

APPEAL DATE: 9/16/2021

A written appeal must be filed in the City Clerk's Office by 5 p.m. on the appeal date noted above.

This DNS may be withdrawn at any time if the proposal is modified so as to have significant adverse environmental impacts; if there is significant new information indicating a proposals probable significant adverse environmental impacts (unless a non-exempt license has been issued if the proposal is a private project) or if the DNS was procured by misrepresentation or lack of material disclosure.

Issued By: Reilly Pittman, Acting Planning Manager **for** **Date:** Sept. 2, 2021
Elizabeth Stead, Environmental Coordinator
Development Services Department



**City of Bellevue
Development Services Department
Land Use Staff Report**

Proposal Name: McGowan Retaining Wall

Proposal Address: 1406 W Lake Sammamish Pkwy NE

Proposal Description: Critical Areas Land Use Permit to allow restoration and reconstruction of an existing retaining wall located within a steep slope critical area. Restoration work is associated with unpermitted grading work and will include native steep slope plantings. The proposal is supported by geotechnical analysis and a restoration plan.

File Number: 21-102789-LO

Applicant: Ken and Kris McGowan

Decisions Included: Critical Areas Land Use Permit
(Process II. LUC 20.30P)

Planner: David Wong, Planner

**State Environmental Policy Act
Threshold Determination:**

Determination of Non-Significance

Reilly Pittman, Acting Planning Manager

Elizabeth Stead, Environmental Coordinator
Development Services Department

Director's Decision:

Approval with Conditions

Reilly Pittman, Acting Planning Manager

Elizabeth Stead, Land Use Director
Development Services Department

Application Date: February 11, 2021
Notice of Application Publication Date: March 18, 2021
Decision Publication Date: September 2, 2021
Project Appeal Deadline: September 16, 2021

For information on how to appeal a proposal, visit Development Services Center at City Hall or call (425) 452-6800. Comments on State Environmental Policy Act (SEPA) Determinations can be made with or without appealing the proposal within the noted comment period for a SEPA Determination. Appeal of the Decision must be received in the City's Clerk's Office by 5 PM on the date noted for appeal of the decision.

CONTENTS

I. Proposal Description	1
II. Site Description, Zoning, Land Use and Critical Areas	2
III. Consistency with Land Use Code Requirements:.....	5
IV. Public Notice and Comment.....	6
V. Summary of Technical Reviews	6
VI. State Environmental Policy Act (SEPA).....	7
VII. Change to Proposal as a Result of City Review	7
VIII. Decision Criteria.....	7
IX. Conclusion and Decision.....	8
X. Conditions of Approval	9

Attachments

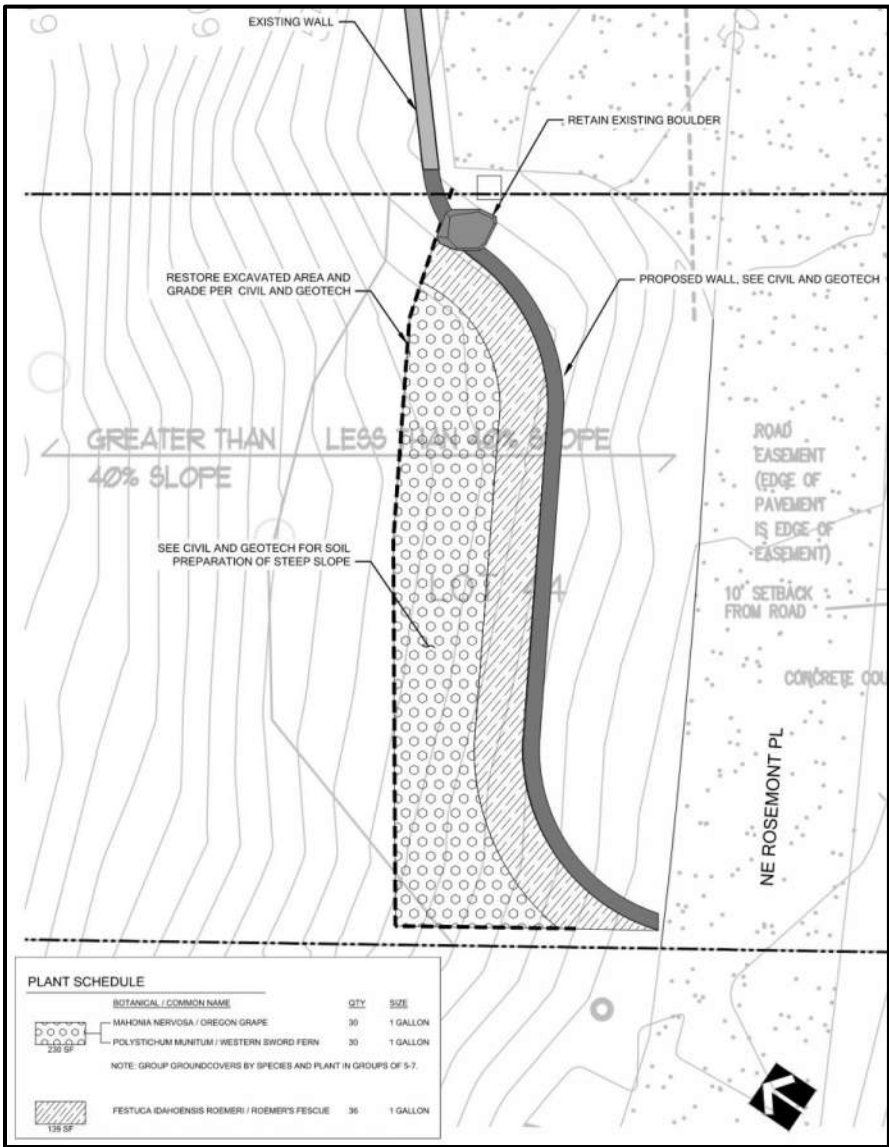
1. Site Plan
2. Restoration Plan
3. Critical Areas Study (in file)
4. Geotechnical Engineering Study (in file)

I. Proposal Description

The applicant proposes to reconstruct a block retaining wall, restore existing grades, and install native vegetation within the steep slope critical area adjacent North Rosemont Beach Road. The proposal will restore impacts that occurred from unpermitted slope grading and wall removal work (COB 20-114592-EA) and which resulted in disturbance to existing understory vegetation and natural slope contour.

Proposals to construct a block retaining wall within an access easement and restore steep slope conditions are required to receive approval through a Critical Areas Land Use Permit (CALUP). See Figure 1 for proposed conditions.

Figure 1



II. Site Description, Zoning, Land Use and Critical Areas

A. Site Description

The subject property is located at 1406 W Lake Sammamish Pkwy NE and is listed under King County tax parcel number 7430500225. The size of the lot is 13,565 square feet; contains a steep slope critical area and its setback; and has shoreline access to Lake Sammamish to the east. Vegetation on site is characterized by medium to large native evergreen and deciduous trees species and a variety of native understory and groundcover associated with steep slopes. Areas of Himalayan blackberry (*Rubus bifrons*), non-native grasses, and ornamental shrub species are found through much of the site. See Figure 2 for existing site conditions.

Figure 2



B. Zoning, Subarea, and Comprehensive Plan

The underlying zoning of the property is R-2.5 (a single-family zoning district) and it is located within the Northeast Bellevue subarea. The property has a Comprehensive Plan designation of Single-Family Medium Density (SF-M). See Figure 3 for zoning; Figure 4 for subarea; and Figure 5 for Comprehensive Plan designations.

Figure 3

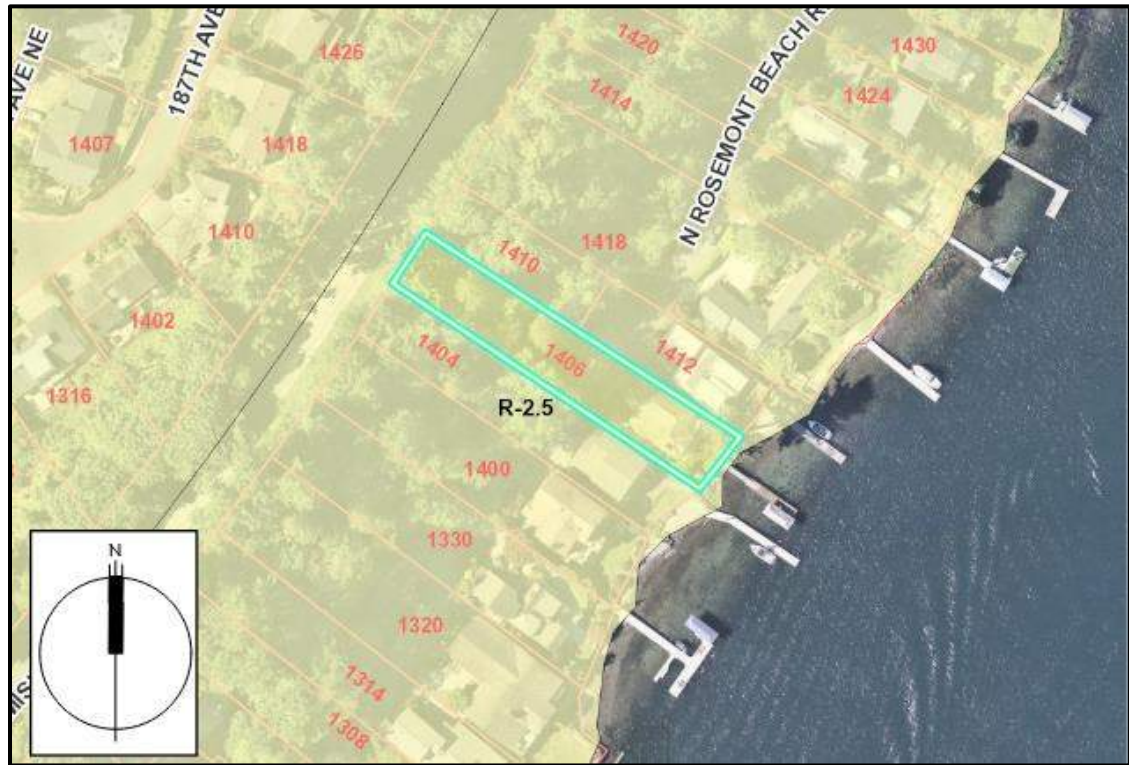


Figure 4



Figure 5



C. Land Use Context

The property is bordered to the north, south, and west by single-family development and zoning (R-2.5 and R-3.5) and to the east by Lake Sammamish. See Figure 6 for land use context information.

Figure 6



D. Critical Areas

i. Steep Slopes

A steep slope critical area with a southeast-facing aspect is located on the west side of North Rosemont Beach Dr with approximately 78 feet of elevation change (72-150' ASL). A structure setback of 75 feet is applied from the toe of the steep slope where the previous wall was located prior to unpermitted removal and excavation.

E. Critical Areas Functions and Values

i. Steep Slopes and Geologic Hazard Areas

Geologic hazards pose a threat to the health and safety of citizens when commercial, residential, or industrial development is inappropriately sited in areas of significant hazard. Some geologic hazards can be reduced or mitigated by engineering, design, or modified construction practices. When technology cannot reduce risks to acceptable levels, building in geologically hazardous areas is best avoided (WAC 365-190).

Steep slopes may serve several other functions and possess other values for the City and its residents. Several of Bellevue's remaining large blocks of forest are located in steep slope areas, providing habitat for a variety of wildlife species and important linkages between habitat areas in the City. These steep slope areas also act as conduits for groundwater, which drains from hillsides to provides a water source for the City's wetlands and stream systems. Vegetated steep slopes also provide a visual amenity in the City, providing a "green" backdrop for urbanized areas enhancing property values and buffering urban development.

III. Consistency with Land Use Code Requirements:

A. General Development Requirements – 20.20

Construction of walls and rockeries are allowed within the R-2.5 single-family zoning district and are allowed to intrude into required zoning setbacks when no feasible alternative to location or height exists. The proposed block wall will replace an existing wall used to shore the steep slope along the access and parking for North Rosemont Beach Rd and no alternative exists to relocate the wall to a different location. The wall is the minimum height necessary to restore existing grades prior to unpermitted wall removal and excavation. Conformance with all zoning requirements will be verified as part of the required Clearing and Grading and Building Permit review. See Section X for Conditions of Approval related to required Clearing and Grading and Building Permits.

B. Critical Areas Requirements LUC 20.25H:

i. Consistency with LUC 20.25H.055 – Stabilization

Construction of a replacement block wall similar to the wall which was removed is necessary to provide erosion protection to North Rosemont Beach Rd as a 'no action',

as described in the Critical Areas Narrative (Watershed, pg.2), would result in *"greater critical areas impacts."* Construction and location will be similar to pre-work conditions and will allow for restoration of previous grades above the block wall.

C. Consistency with Land Use Code Critical Areas Performance Standards:

i. Steep Slope Performance Standards – 20.25H.125

The proposed block retaining wall and restoration of existing grades meets all performance standards of 20.25H.125. The proposal is designed to restore unpermitted excavation and return the slope above the wall to prior conditions in terms of grade and vegetative composition. The wall and fill have been engineered and designed to provide greater protection to the slope and to not need increased buffers and setbacks. No trees were removed as part of the unpermitted work and a restoration planting plan has been provided that includes 369 square feet of native shrub and groundcover planting. No other structures, new impervious surface, or permanent disturbance are proposed under this permit. See Section X for Conditions of Approval related to the restoration plan.

IV. Public Notice and Comment

Application Date:	February 11, 2021
Public Notice (500 feet):	March 18, 2021
Minimum Comment Period:	April 1, 2021

The Notice of Application for this project was published in the City of Bellevue weekly permit bulletin on March 18, 2021, and it was mailed to property owners within 500 feet of the project site. No comments have been received from the public as of the writing of this staff report.

V. Summary of Technical Reviews

Clearing and Grading:

The Clearing and Grading Division of the Development Services Department has reviewed the proposed development for compliance with Clearing and Grading codes and standards. The Clearing and Grading staff found no issues with the proposed development. Due to the proximity to steep slopes, site development is restricted during the rainy season to avoid risk of impacts to the stream and wetland critical areas, and all pesticides, insecticides, and fertilizer use shall be in accordance with City of Bellevue Environmental Best Management Practices. Geotechnical inspection conducted by the project engineer will be required to occur. See Section X for Condition of Approval related to rainy season restrictions; pesticide, insecticide, and fertilizer use; and geotechnical inspection.

Utilities:

The Utilities Division of the Development Services Department has reviewed the proposed development for compliance with Utilities codes and standards. The Utilities staff found no issues with the proposed development.

VI. State Environmental Policy Act (SEPA)

The applicant has provided a complete SEPA checklist supported by detailed analysis for review in demonstrating no significant adverse environmental impact. Staff has reviewed the checklist, analysis, and supporting documentation and has determined that, for the proposed action, environmental review indicates no probability of significant adverse environmental impacts provided that applicable city codes and standards are implemented. Therefore, issuance of a Determination of Non-Significance pursuant to WAC 197-11-340 and Bellevue City Code (BCC) 22.02.034 is appropriate.

A. Earth and Water

A temporary erosion and sedimentation control plan is included in the project plans and addresses all requirements for erosion and sedimentation management practices. Erosion and sediment control best management practices include the installation of silt fencing around the work area and covering exposed soils to prevent migration of soils off-site. Erosion control is regulated and will be reviewed in accordance with the requirements of BCC 23.76. See Section X for Conditions of Approval related to erosion control.

B. Plants

A restoration plan is included in the project plans and will restore steep slope vegetative conditions above what existed prior to unpermitted work occurring. The proposal has been designed to provide greater native species diversity than preexisting conditions. See Section X for Conditions of Approval related to restoration plans.

VII. Changes to Proposal as a Result of City Review

No changes were requested by the City during the review of this proposal.

VIII. Decision Criteria

The proposal, as conditioned below, meets the applicable regulations and decision criteria for a Critical Areas Land Use Permit pursuant to LUC Section 20.30P.

A. Critical Areas Land Use Permit Decision Criteria 20.30P

The Director may approve or approve with modifications an application for a critical areas land use permit if:

1. The proposal obtains all other permits required by the Land Use Code;

Finding: The applicant must obtain a Building before beginning any work. See Section X for Conditions of Approval related to required Building Permit.

2. The proposal utilizes to the maximum extent possible the best available construction, design and development techniques which result in the least impact on the critical area and critical area buffer;

Finding: The proposal has been designed to restore steep slope critical area conditions to a state above what existed at the time of unpermitted work and has been designed to have the least amount of impact to reconstruct the block shoring wall and restore existing grades.

3. The proposal incorporates the performance standards of Part 20.25H to the maximum extent applicable, and;

Finding: As discussed in Section III of this report, the proposal meets the performance standards of LUC 20.25H.125 for work within a steep slope critical area.

4. The proposal will be served by adequate public facilities including street, fire protection, and utilities; and;

Finding: No change in need to existing public facilities is proposed.

5. The proposal includes a mitigation or restoration plan consistent with the requirements of LUC Section 20.25H.210; and

Finding: A restoration plan submitted with this application is consistent with the requirements of LUC 20.25H.210. Plans consistent with the activities of this approval are required to be submitted under the Clearing and Grading and Building Permits for review and final approval. See Section X for Conditions of Approval related to Building and Clearing and Grading Permits.

6. The proposal complies with other applicable requirements of this code.

As discussed in Section III of this report, the proposal complies with all other applicable requirements of the Land Use Code.

IX. Conclusion and Decision

After conducting the various administrative reviews associated with this proposal, including Land Use Code consistency, SEPA, City Code and Standard compliance reviews, the Director of Land Use does hereby approve with conditions the proposal to construct a shoring block wall and to restore the steep slope critical area.

Note - Expiration of Approval: In accordance with LUC 20.30P.150 a Critical Areas Land Use Permit automatically expires and is void if the applicant fails to file for a Building Permit or other necessary development permits within one year of the effective date of the approval.

X. Conditions of Approval

The applicant shall comply with all applicable Bellevue City Codes and Ordinances including but not limited to:

Applicable Ordinances	Contact Person
Clearing and Grading Code- BCC 23.76	Savina Uzunow, 425-452-7860
Land Use Code- BCC 20	David Wong, 425-452-4282
Utilities Code- BCC 24	Jason Felgar, 425-452-7851

The following conditions are imposed under the Bellevue City Code or SEPA authority referenced:

1. Construction Permits:

Approval of this Critical Areas Land Use Permit does not constitute an approval of a development permit. Application for a building permit and clearing and grading permit is required to be submitted and approved. Plans submitted as part of either permit application shall be consistent with the activity permitted under this approval.

Authority: Land Use Code 20.30P.140

Reviewer: David Wong, Land Use

2. Rainy Season Restrictions:

Due to critical area proximity, no clearing and grading activity may occur during the rainy season, which is defined as October 1 through April 30 without written authorization of the Development Services Department. Should approval be granted for work during the rainy season, increased erosion and sedimentation measures, representing the best available technology must be implemented prior to beginning or resuming site work.

Authority: Bellevue City Code 23.76.093.A

Reviewer: Savina Uzunow, Clearing and Grading

3. Final Restoration Plan

A restoration plan conforming to the plan under this review (Attachment 2) shall be submitted as a component of the Clearing and Grading Permit. The plan shall include and identify all areas of restoration work, plant materials, and quantities, and shall comply with species and spacing recommendations of the Critical Areas Handbook.

Authority: Land Use Code 20.25H.205.F

Reviewer: David Wong, Land Use

4. Monitoring

The planting area outlined in the restoration plan shall be maintained and monitored for a period of three (3) years following Land Use inspection. Annual monitoring reports are to be submitted to the Land Use Division each of the three years at the end of each growing season or December 31st. Photos from selected photo points will be included in the monitoring reports to document the planting. The following schedule and performance standards apply and are evaluated in the report for each year:

Year 1 (from date of plant installation)

- 100% survival of all installed plant material
- Less than 10% coverage of invasive plants in planting area

Year 2 (from date of plant installation)

- At least 90% survival of all installed plant material
- 40% coverage or native recolonization of the planting area
- Less than 10% coverage of invasive plants in planting area

Year 3, 4, & 5 (from date of plant installation)

- At least 85% survival of all installed plant material
- At least 60% (Year 3) and 80% (Year 5) coverage of the planting area by native plants in each year respectively
- Less than 10% coverage by invasive species or non-native/ornamental vegetation

The reports, along with a copy of the restoration plan, can be sent to David Wong at dwong@bellevuewa.gov or to the address below:

Environmental Planning Manager
Development Services Department
City of Bellevue
PO Box 90012
Bellevue, WA 98009-9012

Authority: Land Use Code 20.25H.220.D

Reviewer: David Wong, Land Use

5. Planting Cost Estimate

A planting cost estimate detailing the cost for materials and labor identified on the restoration plan shall be submitted as part of the Building Permit application. The estimate shall also include the cost of three years of maintenance and monitoring activities as described in the maintenance and monitoring plan.

Authority: Land Use Code 20.25H.220.F

Reviewer: David Wong, Land Use

6. Maintenance & Monitoring Surety

A financial maintenance surety of 20% of the cost of the 3-year maintenance and monitoring contract cost is required prior to Building Permit approval. Final inspection is required at the end of the third year for release of the surety.

Authority: Land Use Code 20.25H.220.F

Reviewer: David Wong, Land Use

7. Land Use Inspection

A Land Use (600) inspection is required prior to Building Permit final inspection to verify plant installation is complete and according to the restoration plan.

Authority: Land Use Code 20.25H.220.F

Reviewer: David Wong, Land Use

8. Pesticides, Insecticides, and Fertilizers

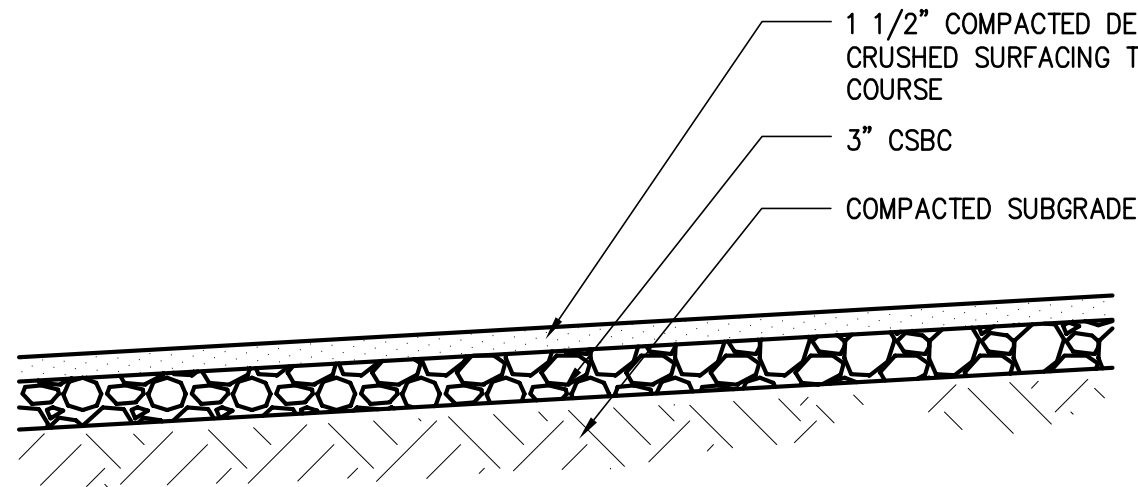
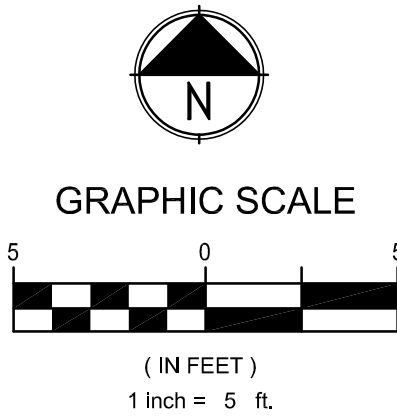
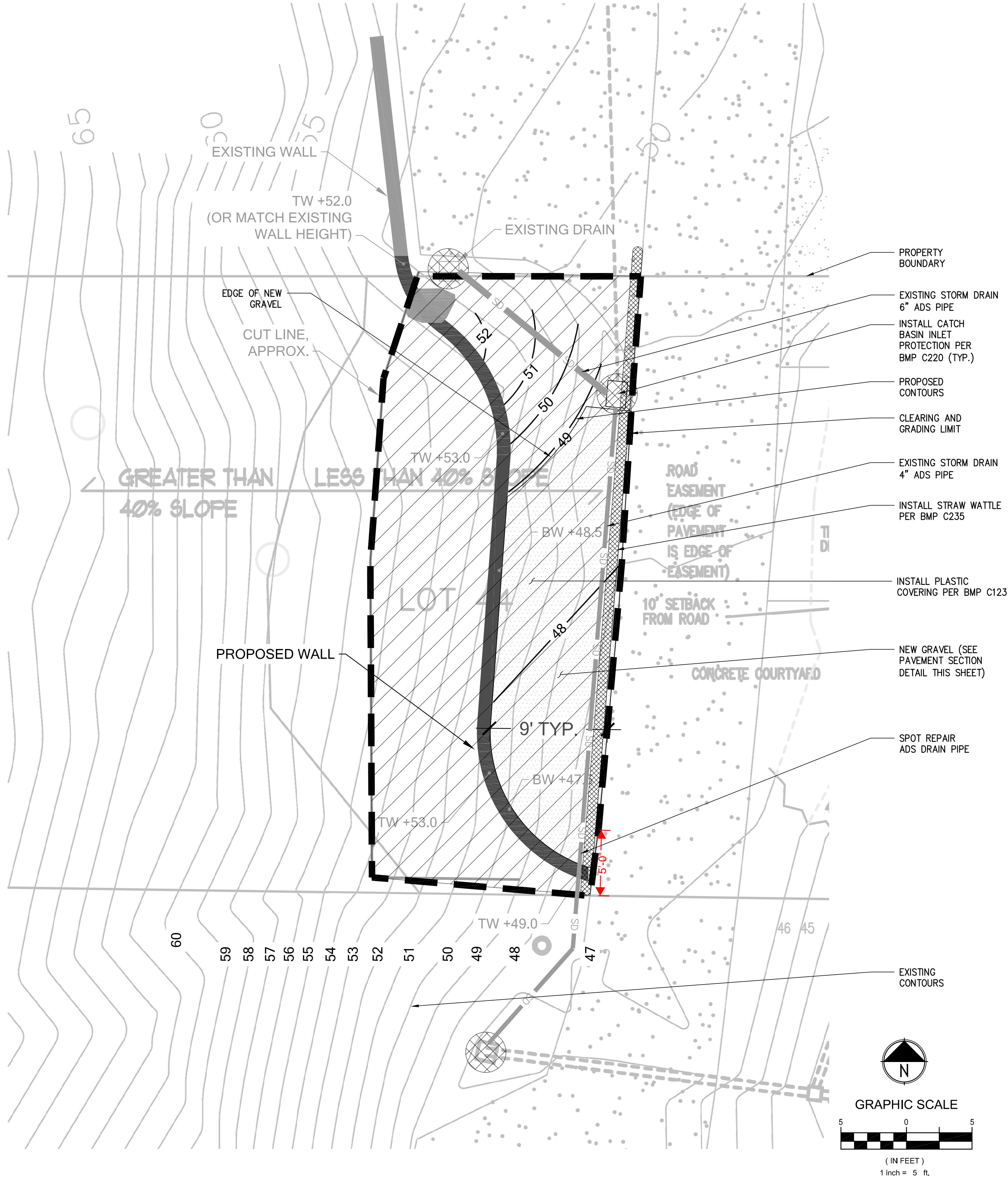
The applicant must submit as part of the required Building Permit information regarding the use of pesticides, insecticides, and fertilizers in accordance with the City of Bellevue's "Environmental Best Management Practices".

Authority: Land Use Code 20.25H.080.A, 20.25H.100.F

Reviewer: David Wong, Land Use

FOR PERMIT
These drawings are submitted for a preliminary review only. The Engineer shall not be responsible for the construction of the project. The Contractor shall not use these drawings for construction until Contractor receives written approval for use in construction by the jurisdiction having authority and DCI Engineers.

MAXIMUM



PAVEMENT SECTION DETAIL
SCALE: 1" = 1'

LEGEND

- PLASTIC COVERING PER BMP C123
- NEW GRAVEL

LEGAL DESCRIPTION

ROSEMONT BEACH ADD PLAT LOT 44

CONTRACTOR NOTE

ALL EXISTING UTILITIES SHOWN ON PLANS ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION. ALL EXISTING FEATURES INCLUDING BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS AND SURVEY FURNISHED BY OTHERS. WE ASSUME NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS AND SURVEY, FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO CONSTRUCTION CONTACT THE UTILITY OWNER/AGENCY.

CLEAR AND GRADING STANDARD NOTES

- ALL CLEARING & GRADING CONSTRUCTION MUST BE IN ACCORDANCE WITH CITY OF BELLEVUE (COB) CLEARING & GRADING CODE, CLEARING & GRADING DEVELOPMENT STANDARDS, LAND USE CODE, UNIFORM BUILDING CODE, PERMIT CONDITIONS, AND ALL OTHER APPLICABLE CODES, ORDINANCES, AND STANDARDS. THE DESIGN ELEMENTS WITHIN THESE PLANS HAVE BEEN REVIEWED ACCORDING TO THESE REQUIREMENTS. ANY VARIANCE FROM ADOPTED EROSION CONTROL STANDARDS IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY THE CITY OF BELLEVUE DEVELOPMENT SERVICES (DSD) PRIOR TO CONSTRUCTION.

IT SHALL BE THE SOLE RESPONSIBILITY OF THE APPLICANT AND THE PROFESSIONAL CIVIL ENGINEER TO CORRECT ANY ERROR, OMISSION, OR VARIATION FROM THE ABOVE REQUIREMENTS FOUND IN THESE PLANS. ALL CORRECTIONS SHALL BE AT NO ADDITIONAL COST OR LIABILITY TO THE COB.
- APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC).
- A COPY OF THE APPROVED PLANS AND DRAWINGS MUST BE ON-SITE DURING CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR OBTAINING ANY OTHER REQUIRED OR RELATED PERMITS PRIOR TO BEGINNING CONSTRUCTION.
- THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
- THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.
- THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.
- ALL LOCATIONS OF EXISTING UTILITIES HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD, THEREFORE, BE CONSIDERED ONLY APPROXIMATE AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS AND TO DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.
- THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE APPLICANT/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
- CLEARING SHALL BE LIMITED TO THE AREAS WITHIN THE APPROVED DISTURBANCE LIMITS. EXPOSED SOILS MUST BE COVERED AT THE END OF EACH WORKING DAY WHEN WORKING FROM OCTOBER 1ST THROUGH APRIL 30TH. FROM MAY 1ST THROUGH SEPTEMBER 30TH, EXPOSED SOILS MUST BE COVERED AT THE END OF EACH CONSTRUCTION WEEK AND ALSO AT THE THREAT OF RAIN.
- AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT.
- THE CONTRACTOR MUST MAINTAIN A SWEEPER ON SITE DURING EARTHWORK AND IMMEDIATELY REMOVE SOIL THAT HAS BEEN TRACKED ONTO PAVED AREAS AS RESULT OF CONSTRUCTION.
- THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
- ANY EXCAVATED MATERIAL REMOVED FROM THE CONSTRUCTION SITE AND DEPOSITED ON PROPERTY WITHIN THE CITY LIMITS MUST BE DONE IN COMPLIANCE WITH A VALID CLEARING & GRADING PERMIT. LOCATIONS FOR THE MOBILIZATION AREA AND STOCKPILED MATERIAL MUST BE APPROVED BY THE CLEARING AND GRADING INSPECTOR AT LEAST 24 HOURS IN ADVANCE OF ANY STOCKPIILING.
- THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 48 HOURS FOLLOWING A MAJOR STORM EVENT.
- FINAL SITE GRADING MUST DIRECT DRAINAGE AWAY FROM ALL BUILDING STRUCTURES AT A MINIMUM 5% SLOPE, PER THE INTERNATIONAL RESIDENTIAL CODE (IRC) R401.3.

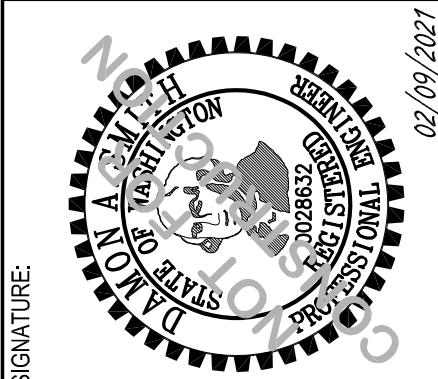
PROJECT CONTACTS

NAME: KENNETH AND KRISTINE MCGOWAN
PHONE NUMBER: (206) 799-8924



Know what's below.
Call before you dig.

PREPARED BY:
DCI ENGINEERS
818 STEWART STREET, SUITE 1000
SEATTLE, WASHINGTON 98101
PHONE: (206) 332-1800 • FAX: (206) 332-1800
WWW.DCIENGINEERS.COM
CIVIL STRUCTURAL
AND TRAFFIC ENGINEERING



REVISIONS:

APPROVALS:
Job No.: 2012-0008
Proj. Manager: M.J.F.
Designed: M.J.F.
Reviewed: M.J.F.
Drawn: PKS
Dwg. Checked: M.J.F.
Scale: 1"=5'

MCGOWAN RESIDENCE

1406 WEST LAKE SAMMAMISH PARKWAY NE
BELLEVUE, WA 98008

SHEET TITLE:
T.E.S.C. & SITE PLAN

SHEET NO.
C-1



MCGOWAN RESIDENCE

RESTORATION PLAN
PREPARED FOR KEN AND KRIS MCGOWAN
MCGOWAN RESIDENCE

FOR KEN AND KRIS M
PARCEL # 7430500225

1406 WEST LAKE SAMMAMISH PARKWAY SE

BELLEVUE, WA 98004

SUBMITTALS & REVISIONS				
NO.	DATE	DESCRIPTION	BY	
1	01-27-2021	RESTORATION PLAN	AF	
2	05-14-2021	RESTORATION PLAN REVISION	AF	
3	6-03-2021	RESTORATION PLAN REVISION	AF	

SHEET SIZE:
ORIGINAL PLAN IS 22" x 34".
SCALE ACCORDINGLY.

PROJECT MANAGER: KB
DESIGNED: AF
DRAFTED: AF
CHECKED: MF/KB
JOB NUMBER:

200940

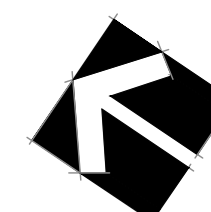
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W2 OF 5

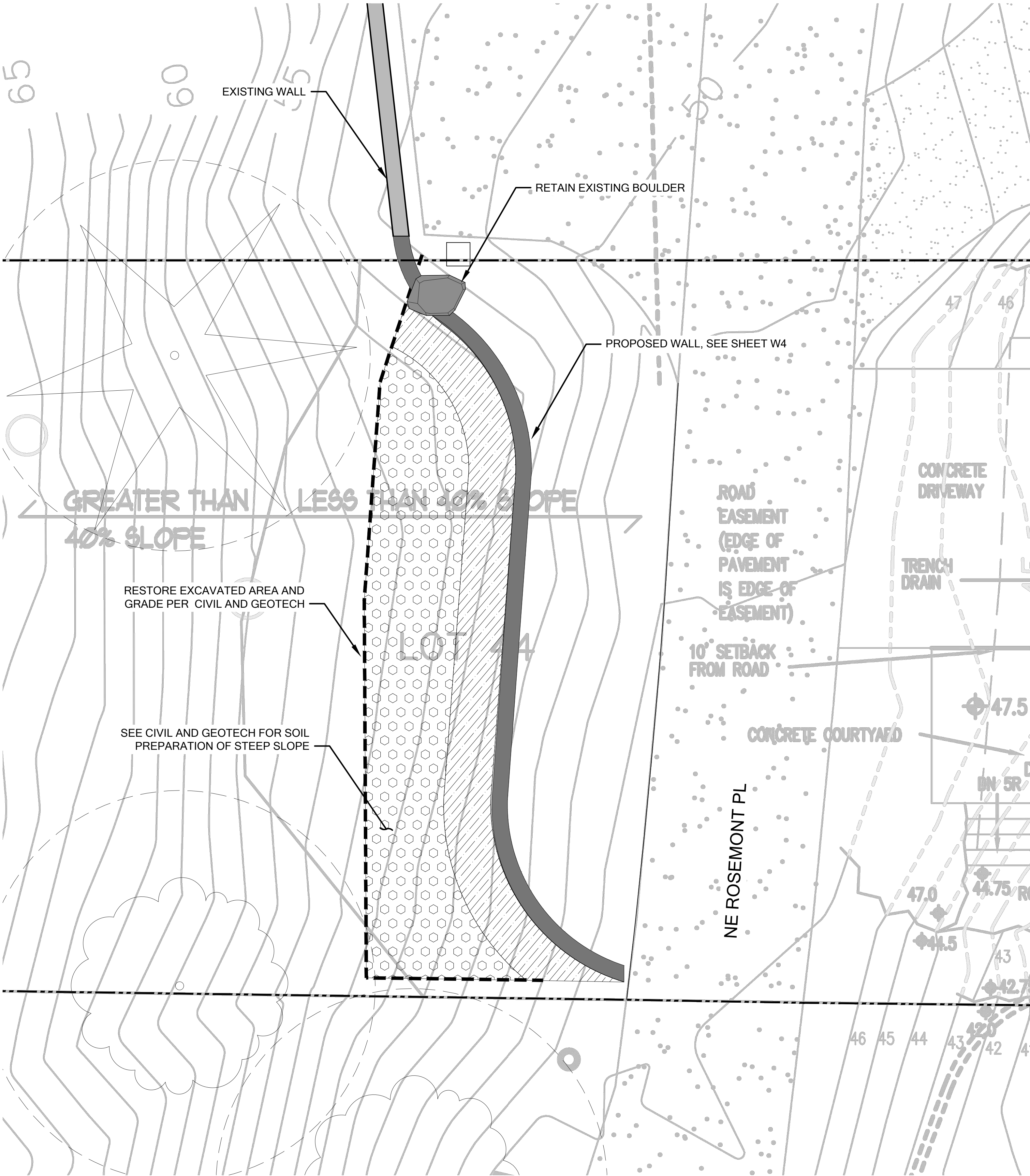
DATE	PRINTED BY	FILE NAME
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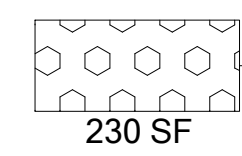
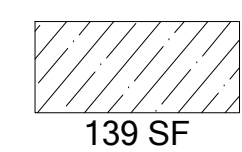
SCALE $\frac{1}{4}" = 1'$



© Copyright- The Watershed Company



PLANT SCHEDULE

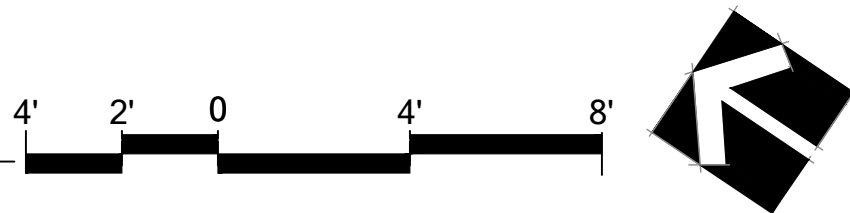
	BOTANICAL / COMMON NAME	QTY	SIZE	% FILL/ SPACING
 230 SF	MAHONIA NERVOSA / OREGON GRAPE	30	1 GALLON	50% @ 2' O.C.
	POLYSTICHUM MUNITUM / WESTERN SWORD FERN	30	1 GALLON	50% @ 2' O.C.
NOTE: GROUP GROUNDCOVERS BY SPECIES AND PLANT IN GROUPS OF 5-7.				
 139 SF	FESTUCA IDAHOENSIS ROEMERI / ROEMER'S FESCUE	36	1 GALLON	2' O.C.

NOTES

- SEE PLANT INSTALLATION SPECIFICATIONS AND DETAILS ON PAGE W4.
- GROUNDCOVERS AND GRASSES SHALL BE PLANTED USING TRIANGULAR SPACING.

SITE PLAN, PLANTING PLAN AND SCHEDULE

SCALE $\frac{1}{4}" = 1'$



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750 Sixth Street South
Kirkland WA 98033

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Science & Design

MCGOWAN RESIDENCE
RESTORATION PLAN
PREPARED FOR KEN AND KRIS MCGOWAN
PARCEL # 7430500225
1406 WEST LAKE SAMMAMISH PARKWAY SE
BELLEVUE, WA 98004

SUBMITTALS & REVISIONS		BY
NO.	DESCRIPTION	AF
1	RESTORATION PLAN	AF
2	RESTORATION PLAN REVISION	AF
3	RESTORATION PLAN REVISION	AF

SHEET SIZE:
ORIGINAL PLAN IS 22" x 34".
SCALE ACCORDINGLY.

PROJECT MANAGER: KB
DESIGNED: AF
DRAFTED: AF
CHECKED: MF/KB
JOB NUMBER:

200940
SHEET NUMBER:
W3 OF 5



SUBMITTALS & REVISIONS				BY
NO.	DATE	DESCRIPTION	AF	AF
1	01-27-2021	RESTORATION PLAN	AF	AF
2	05-14-2021	RESTORATION PLAN REVISION	AF	AF
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W4 OF 5

DATE	PRINTED BY	FILENAME

PLANT INSTALLATION SPECIFICATIONS

GENERAL NOTES

QUALITY ASSURANCE

- 1. PLANTS SHALL MEET OR EXCEED THE SPECIFICATIONS OF FEDERAL, STATE, AND LOCAL LAWS REQUIRING INSPECTION FOR PLANT DISEASE AND INSECT CONTROL.
- 2. PLANTS SHALL BE HEALTHY, VIGOROUS, AND WELL-FORMED, WITH WELL DEVELOPED, FIBROUS ROOT SYSTEMS, FREE FROM DEAD BRANCHES OR ROOTS. PLANTS SHALL BE FREE FROM DAMAGE CAUSED BY TEMPERATURE EXTREMES, LACK OR EXCESS OF MOISTURE, INSECTS, DISEASE, AND MECHANICAL INJURY. PLANTS IN LEAF SHALL BE WELL FOLIATED AND OF GOOD COLOR. PLANTS SHALL BE HABITUATED TO THE OUTDOOR ENVIRONMENTAL CONDITIONS INTO WHICH THEY WILL BE PLANTED (HARDENED-OFF).
- 3. TREES WITH DAMAGED, CROOKED, MULTIPLE OR BROKEN LEADERS WILL BE REJECTED. WOODY PLANTS WITH ABRASIONS OF THE BARK OR SUN SCALD WILL BE REJECTED.
- 4. NOMENCLATURE: PLANT NAMES SHALL CONFORM TO FLORA OF THE PACIFIC NORTHWEST BY HITCHCOCK AND CRONQUIST, UNIVERSITY OF WASHINGTON PRESS, 2018 AND/OR TO A FIELD GUIDE TO THE COMMON WETLAND PLANTS OF WESTERN WASHINGTON & NORTHWESTERN OREGON, ED. SARAH SPEAR COOKE, SEATTLE AUDUBON SOCIETY, 1997.

DEFINITIONS

- 1. PLANTS/PLANT MATERIALS. PLANTS AND PLANT MATERIALS SHALL INCLUDE ANY LIVE PLANT MATERIAL USED ON THE PROJECT. THIS INCLUDES BUT IS NOT LIMITED TO CONTAINER GROWN, B&B OR BAREROOT PLANTS; LIVE STAKES AND FASCINES (WATTLES); TUBERS, CORMS, BULBS, ETC.; SPRIGS, PLUGS, AND LINERS.
- 2. CONTAINER GROWN. CONTAINER GROWN PLANTS ARE THOSE WHOSE ROOTBALLS ARE ENCLOSED IN A POT OR BAG IN WHICH THAT PLANT GREW.

SUBSTITUTIONS

- 1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN SPECIFIED MATERIALS IN ADVANCE IF SPECIAL GROWING, MARKETING OR OTHER ARRANGEMENTS MUST BE MADE IN ORDER TO SUPPLY SPECIFIED MATERIALS.
- 2. SUBSTITUTION OF PLANT MATERIALS NOT ON THE PROJECT LIST WILL NOT BE PERMITTED UNLESS AUTHORIZED IN WRITING BY THE RESTORATION CONSULTANT.
- 3. IF PROOF IS SUBMITTED THAT ANY PLANT MATERIAL SPECIFIED IS NOT OBTAINABLE, A PROPOSAL WILL BE CONSIDERED FOR USE OF THE NEAREST EQUIVALENT SIZE OR ALTERNATIVE SPECIES, WITH CORRESPONDING ADJUSTMENT OF CONTRACT PRICE.
- 4. SUCH PROOF WILL BE SUBSTANTIATED AND SUBMITTED IN WRITING TO THE CONSULTANT AT LEAST 30 DAYS PRIOR TO START OF WORK UNDER THIS SECTION.

INSPECTION

- 1. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE RESTORATION CONSULTANT FOR CONFORMANCE TO SPECIFICATIONS, EITHER AT TIME OF DELIVERY ON-SITE OR AT THE GROWER'S NURSERY. APPROVAL OF PLANT MATERIALS AT ANY TIME SHALL NOT IMPAIR THE SUBSEQUENT RIGHT OF INSPECTION AND REJECTION DURING PROGRESS OF THE WORK.
- 2. PLANTS INSPECTED ON SITE AND REJECTED FOR NOT MEETING SPECIFICATIONS MUST BE REMOVED IMMEDIATELY FROM SITE OR RED-TAGGED AND REMOVED AS SOON AS POSSIBLE.
- 3. THE RESTORATION CONSULTANT MAY ELECT TO INSPECT PLANT MATERIALS AT THE PLACE OF GROWTH. AFTER INSPECTION AND ACCEPTANCE, THE RESTORATION CONSULTANT MAY REQUIRE THE INSPECTED PLANTS BE LABELED AND RESERVED FOR PROJECT. SUBSTITUTION OF THESE PLANTS WITH OTHER INDIVIDUALS, EVEN OF THE SAME SPECIES AND SIZE, IS UNACCEPTABLE.

MEASUREMENT OF PLANTS

- 1. PLANTS SHALL CONFORM TO SIZES SPECIFIED UNLESS SUBSTITUTIONS ARE MADE AS OUTLINED IN THIS CONTRACT.
- 2. HEIGHT AND SPREAD DIMENSIONS SPECIFIED REFER TO MAIN BODY OF PLANT AND NOT BRANCH OR ROOT TIP TO TIP. PLANT DIMENSIONS SHALL BE MEASURED WHEN THEIR BRANCHES OR ROOTS ARE IN THEIR NORMAL POSITION.
- 3. WHERE A RANGE OF SIZE IS GIVEN, NO PLANT SHALL BE LESS THAN THE MINIMUM SIZE AND AT LEAST 50% OF THE PLANTS SHALL BE AS LARGE AS THE MEDIAN OF THE SIZE RANGE. (EXAMPLE: IF THE SIZE RANGE IS 12" TO 18", AT LEAST 50% OF PLANTS MUST BE 15" TALL.).

SUBMITTALS

PROPOSED PLANT SOURCES

- 1. WITHIN 45 DAYS AFTER AWARD OF THE CONTRACT, SUBMIT A COMPLETE LIST OF PLANT MATERIALS PROPOSED TO BE PROVIDED DEMONSTRATING CONFORMANCE WITH THE REQUIREMENTS SPECIFIED. INCLUDE THE NAMES AND ADDRESSES OF ALL GROWERS AND NURSERIES.

PRODUCT CERTIFICATES

- 1. PLANT MATERIALS LIST - SUBMIT DOCUMENTATION TO CONSULTANT AT LEAST 30 DAYS PRIOR TO START OF WORK UNDER THIS SECTION THAT PLANT MATERIALS HAVE BEEN ORDERED. ARRANGE PROCEDURE FOR INSPECTION OF PLANT MATERIAL WITH CONSULTANT AT TIME OF SUBMISSION.
- 2. HAVE COPIES OF VENDOR'S OR GROWERS' INVOICES OR PACKING SLIPS FOR ALL PLANTS ON SITE DURING INSTALLATION. INVOICE OR PACKING SLIP SHOULD LIST SPECIES BY SCIENTIFIC NAME, QUANTITY, AND DATE DELIVERED (AND GENETIC ORIGIN IF THAT INFORMATION WAS PREVIOUSLY REQUESTED).

DELIVERY, HANDLING, & STORAGE

NOTIFICATION

CONTRACTOR MUST NOTIFY CONSULTANT 48 HOURS OR MORE IN ADVANCE OF DELIVERIES SO THAT CONSULTANT MAY ARRANGE FOR INSPECTION.

PLANT MATERIALS

- 1. TRANSPORTATION - DURING SHIPPING, PLANTS SHALL BE PACKED TO PROVIDE PROTECTION AGAINST CLIMATE EXTREMES, BREAKAGE AND DRYING. PROPER VENTILATION AND PREVENTION OF DAMAGE TO BARK, BRANCHES, AND ROOT SYSTEMS MUST BE ENSURED.
- 2. SCHEDULING AND STORAGE - PLANTS SHALL BE DELIVERED AS CLOSE TO PLANTING AS POSSIBLE. PLANTS IN STORAGE MUST BE PROTECTED AGAINST ANY CONDITION THAT IS DETRIMENTAL TO THEIR CONTINUED HEALTH AND VIGOR.
- 3. HANDLING - PLANT MATERIALS SHALL NOT BE HANDLED BY THE TRUNK, LIMBS, OR FOLIAGE BUT ONLY BY THE CONTAINER, BALL, BOX, OR OTHER PROTECTIVE STRUCTURE, EXCEPT BAREROOT PLANTS SHALL BE KEPT IN BUNDLES UNTIL PLANTING AND THEN HANDLED CAREFULLY BY THE TRUNK OR STEM.
- 4. LABELS - PLANTS SHALL HAVE DURABLE, LEGIBLE LABELS STATING CORRECT SCIENTIFIC NAME AND SIZE. TEN PERCENT OF CONTAINER GROWN PLANTS IN INDIVIDUAL POTS SHALL BE LABELED. PLANTS SUPPLIED IN FLATS, RACKS, BOXES, BAGS, OR BUNDLES SHALL HAVE ONE LABEL PER GROUP.

WARRANTY

PLANT WARRANTY

PLANTS MUST BE GUARANTEED TO BE TRUE TO SCIENTIFIC NAME AND SPECIFIED SIZE, AND TO BE HEALTHY AND CAPABLE OF VIGOROUS GROWTH.

REPLACEMENT

- 1. PLANTS NOT FOUND MEETING ALL OF THE REQUIRED CONDITIONS AT THE CONSULTANT'S DISCRETION MUST BE REMOVED FROM SITE AND REPLACED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
- 2. PLANTS NOT SURVIVING AFTER ONE YEAR TO BE REPLACED AT THE CONTRACTOR'S EXPENSE.

PLANT MATERIAL

GENERAL

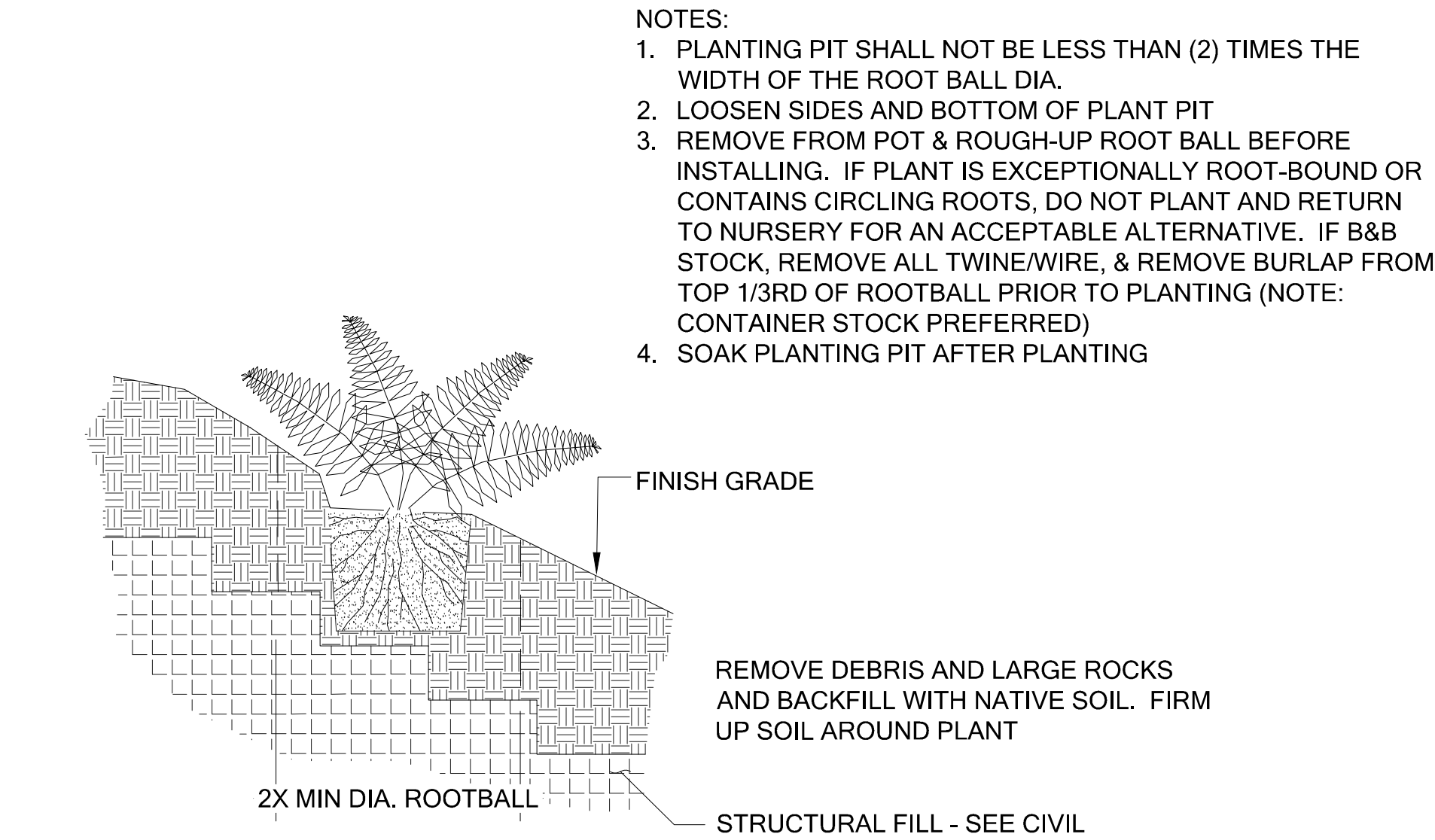
- 1. PLANTS SHALL BE NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO OR MORE SEVERE THAN THOSE OF THE PROJECT SITE.
- 2. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY OR SUBSPECIES. NO CULTIVARS OR NAMED VARIETIES SHALL BE USED UNLESS SPECIFIED AS SUCH.

QUANTITIES

SEE PLANT LIST ON ACCOMPANYING PLANS AND PLANT SCHEDULES.

ROOT TREATMENT

- 1. CONTAINER GROWN PLANTS (INCLUDES PLUGS): PLANT ROOT BALLS MUST HOLD TOGETHER WHEN THE PLANT IS REMOVED FROM THE POT, EXCEPT THAT A SMALL AMOUNT OF LOOSE SOIL MAY BE ON THE TOP OF THE ROOTBALL.
- 2. PLANTS MUST NOT BE ROOT-BOUND; THERE MUST BE NO CIRCLING ROOTS PRESENT IN ANY PLANT INSPECTED.
- 3. ROOTBALLS THAT HAVE CRACKED OR BROKEN WHEN REMOVED FROM THE CONTAINER SHALL BE REJECTED.



1 CONTAINER PLANTING DETAIL

Scale: NTS

PLANT INSTALLATION DETAILS AND NOTES



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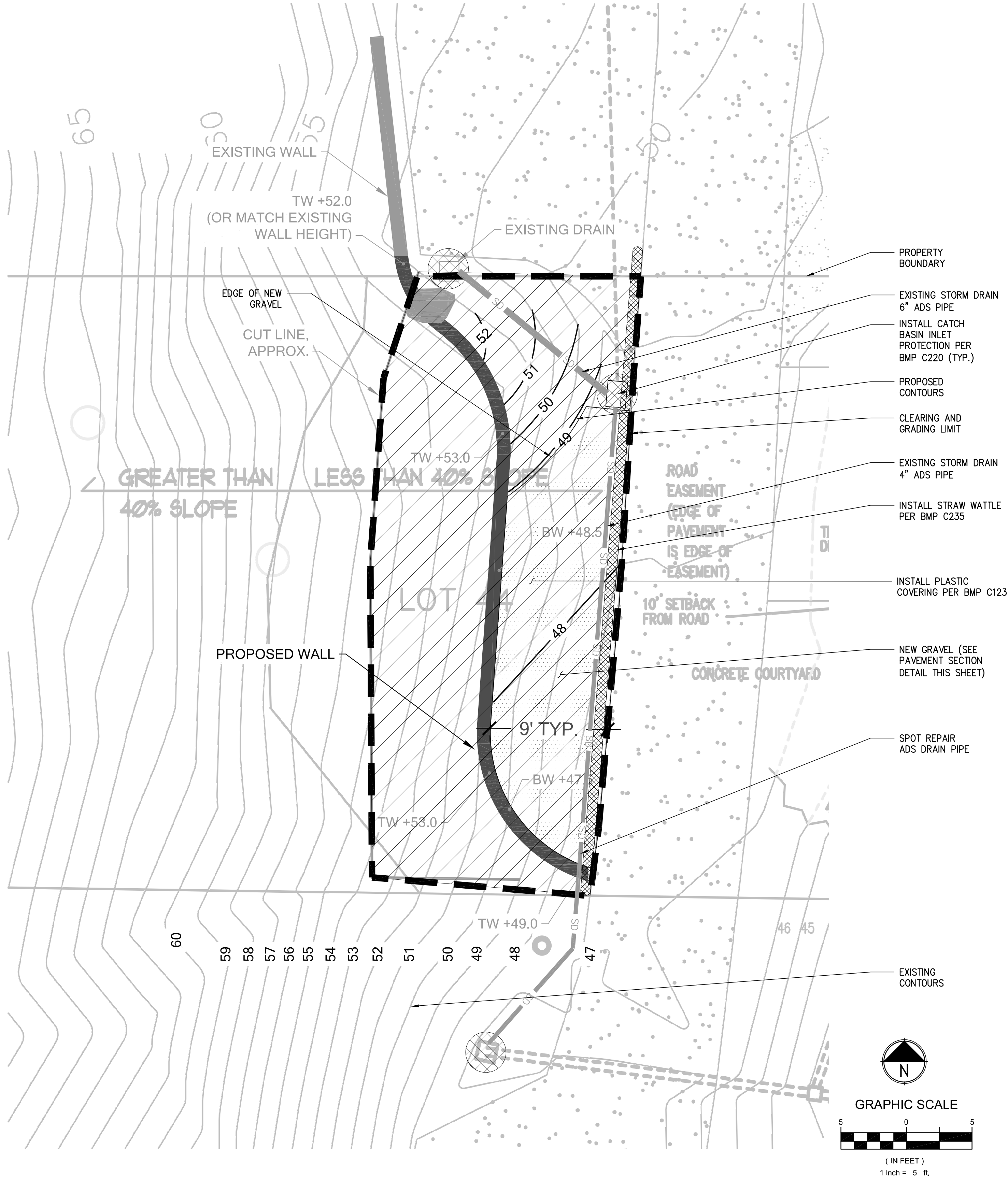
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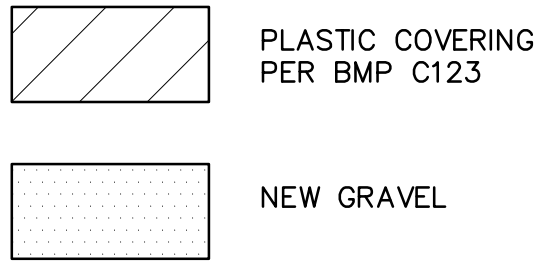
W5 OF 5

FOR PERMIT
These drawings are prepared for a preliminary construction permit. The Engineer shall not use these drawings for construction until Contractor obtains written approval for use in construction by the jurisdiction having authority and DCI Engineers.

MAXIMUM



LEGEND



LEGAL DESCRIPTION

ROSEMONT BEACH ADD PLAT LOT 44

CONTRACTOR NOTE

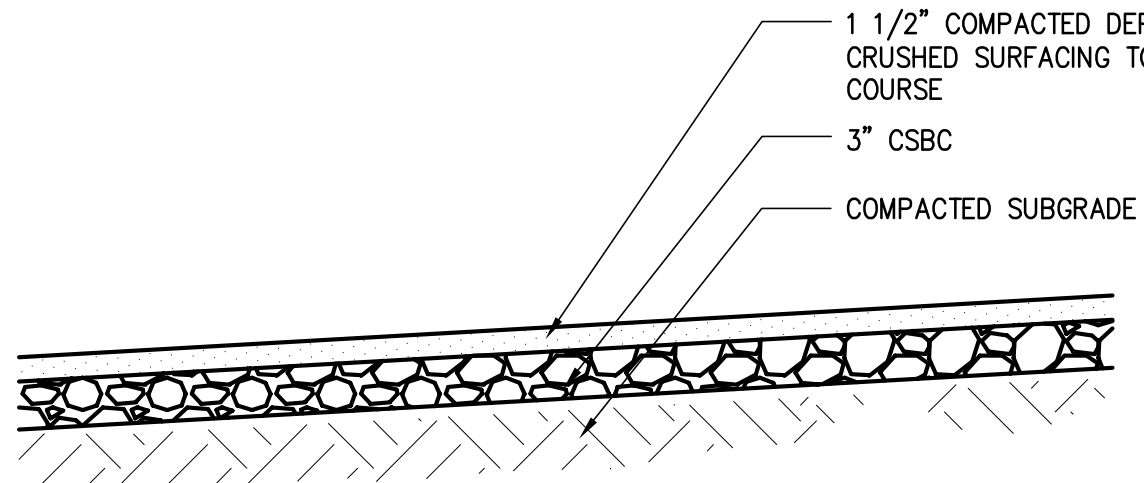
ALL EXISTING UTILITIES SHOWN ON PLANS ARE TO BE VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO ANY CONSTRUCTION. ALL EXISTING FEATURES INCLUDING BURIED UTILITIES ARE SHOWN AS INDICATED ON RECORD MAPS AND SURVEY FURNISHED BY OTHERS. WE ASSUME NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS AND SURVEY, FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO CONSTRUCTION CONTACT THE UTILITY OWNER/AGENCY.

CLEAR AND GRADING STANDARD NOTES

- ALL CLEARING & GRADING CONSTRUCTION MUST BE IN ACCORDANCE WITH CITY OF BELLEVUE (COB) CLEARING & GRADING CODE, CLEARING & GRADING DEVELOPMENT STANDARDS, LAND USE CODE, UNIFORM BUILDING CODE, PERMIT CONDITIONS, AND ALL OTHER APPLICABLE CODES, ORDINANCES, AND STANDARDS. THE DESIGN ELEMENTS WITHIN THESE PLANS HAVE BEEN REVIEWED ACCORDING TO THESE REQUIREMENTS. ANY VARIANCE FROM ADOPTED EROSION CONTROL STANDARDS IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY THE CITY OF BELLEVUE DEVELOPMENT SERVICES (DSD) PRIOR TO CONSTRUCTION.
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE APPLICANT AND THE PROFESSIONAL CIVIL ENGINEER TO CORRECT ANY ERROR, OMISSION, OR VARIATION FROM THE ABOVE REQUIREMENTS FOUND IN THESE PLANS. ALL CORRECTIONS SHALL BE AT NO ADDITIONAL COST OR LIABILITY TO THE COB.
- APPROVAL OF THIS EROSION/SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC).
- A COPY OF THE APPROVED PLANS AND DRAWINGS MUST BE ON-SITE DURING CONSTRUCTION. THE APPLICANT IS RESPONSIBLE FOR OBTAINING ANY OTHER REQUIRED OR RELATED PERMITS PRIOR TO BEGINNING CONSTRUCTION.
- THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
- THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO INSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.
- THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT-LADEN WATER DO NOT LEAVE THE SITE.
- ALL LOCATIONS OF EXISTING UTILITIES HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD, THEREFORE, BE CONSIDERED ONLY APPROXIMATE AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS AND TO DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.
- THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE FLAGGED CLEARING LIMITS SHALL BE PERMITTED. THE FLAGGING SHALL BE MAINTAINED BY THE APPLICANT/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
- CLEARING SHALL BE LIMITED TO THE AREAS WITHIN THE APPROVED DISTURBANCE LIMITS. EXPOSED SOILS MUST BE COVERED AT THE END OF EACH WORKING DAY WHEN WORKING FROM OCTOBER 1ST THROUGH APRIL 30TH. FROM MAY 1ST THROUGH SEPTEMBER 30TH, EXPOSED SOILS MUST BE COVERED AT THE END OF EACH CONSTRUCTION WEEK AND ALSO AT THE THREAT OF RAIN.
- AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER INTO THE DOWNSTREAM SYSTEM.
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT.
- THE CONTRACTOR MUST MAINTAIN A SWEEPER ON SITE DURING EARTHWORK AND IMMEDIATELY REMOVE SOIL THAT HAS BEEN TRACKED ONTO PAVED AREAS AS RESULT OF CONSTRUCTION.
- THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
- ANY EXCAVATED MATERIAL REMOVED FROM THE CONSTRUCTION SITE AND DEPOSITED ON PROPERTY WITHIN THE CITY LIMITS MUST BE DONE IN COMPLIANCE WITH A VALID CLEARING & GRADING PERMIT. LOCATIONS FOR THE MOBILIZATION AREA AND STOCKPILED MATERIAL MUST BE APPROVED BY THE CLEARING AND GRADING INSPECTOR AT LEAST 24 HOURS IN ADVANCE OF ANY STOCKPIILING.
- THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 48 HOURS FOLLOWING A MAJOR STORM EVENT.
- FINAL SITE GRADING MUST DIRECT DRAINAGE AWAY FROM ALL BUILDING STRUCTURES AT A MINIMUM 5% SLOPE, PER THE INTERNATIONAL RESIDENTIAL CODE (IRC) R401.3.

PROJECT CONTACTS

NAME: KENNETH AND KRISTINE MCGOWAN
PHONE NUMBER: (206) 799-8924



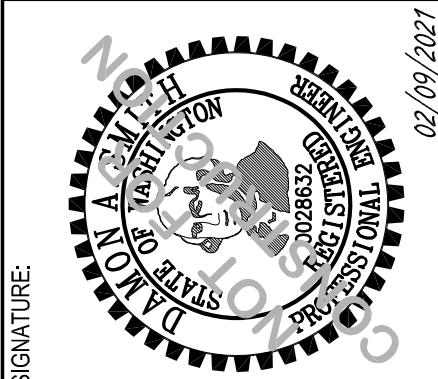
PAVEMENT SECTION DETAIL

SCALE: 1" = 1'



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SEATTLE, WASHINGTON 98101
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CIVIL STRUCTURAL
AND TRAFFIC ENGINEERING



REVISIONS:

APPROVALS:
Job No.: 2012-0008
Proj. Manager: M.J.F.
Designed: M.J.F.
Reviewed: M.J.F.
Drawn: PKS
Dwg. Checked: M.J.F.
Scale: 1"=5'

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MCGOWAN RESIDENCE

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SHEET TITLE:
T.E.S.C. & SITE PLAN

SHEET NO.:
C-1